



# Paradise Valley HOA News

## “Things are a Happening”



Neighbors;

Paradise Valley Estates is now 24 years old, and we are entering our third year since control of the HOA was turned over to homeowners. We (HOA Board) put together this Newsletter as part of our plan for ongoing open communications with homeowners in our neighborhood. Our primary goals are to increase property values and maintain a desirable neighborhood for current homeowners as well as attract new homeowners. Over the past two years, we have established contracts with good reputable companies for snow removal, landscape maintenance, road maintenance, HOA fence repairs, tree maintenance (entrance), and hay bailing/mowing of common areas. While there is always more to do, we appreciate your support in our continuing efforts to make Paradise Valley Estates a beautiful and great place to live!

*Divan Barr*  
HOA President

### **Your HOA Board's Activities**

- ❖ Sprinkler/drip system at our front entrance required repairs. This has been completed, replacing old and leaking valves and water line replacement so that all the trees are watered regularly.
- ❖ In order to enhance the entrance lighting and illuminate the Paradise Valley Estates sign, we are in the process of evaluating lighting options and plan to install new lighting in the spring.
- ❖ Schra Tree Service will complete a deep root feeding of entrance trees this spring to address trees that are struggling. This service was recommended after an evaluation in the fall of 2023.
- ❖ A1 Chip Seal/Rocky Mtn Pavement has been engaged to complete crack sealing and provide recommendations on other maintenance issues.
- ❖ The HOA perimeter fence line has been reviewed and areas in need of repair have been identified. Many's Landscaping has completed the identified/necessary repairs, similar to activities conducted in 2022.
- ❖ An annual Ice Cream Social is being planned. A great opportunity to meet your neighbors. Our community is evolving with new community members. Please look for the invite.

### **Informational Items and reminders**

- ❖ Our HOA Recommended trash haulers are Mountain High Disposal or Republic Services. This is part of our efforts to reduce heavy traffic on our roads. Please support our efforts by using one of these two recommended trash haulers.
- ❖ **Landscaping:** To keep our community beautiful and attractive for all your neighbors, please keep lots clean of trash and debris. Also, controlling weeds has several benefits to all for enhancing the appearance of our neighborhood. If everyone controls the weeds on their property, it minimizes seeding that can spread to your neighbor's property and therefore makes it

easier for everyone to maintain control. Also, the native grass grows better/thicker when not contending with weeds for water and space.

- The following are some resources (examples - not recommendations) for Mowing, Weed control and reseeding of native grass information:
  - Accuspray Solutions (<https://www.accusprayco.com>) – **Weed Mgt**
  - Barefoot Farms Hydro-Seeding (<https://barefootfarms.com>) - **Seeding**
  - DNR Weed District (<https://www.larimer.org/naturalresources/weeds>) – **Weed Mgt**
  - Many's Landscaping – **Mowing/Landscaping/Weed Mgt**
  - Northern Colorado Field Mowing - **Mowing**

❖ The following covenants are key as we move into warmer weather: (*Ref: 1.18; Maintenance of easements and landscape in Covenants*)

- The owner of each lot shall be responsible for at all times properly maintaining the landscaping and to control and eradicate weeds on such lot, including without limitations, all utility and other easements.
- At no time will dry land grass be allowed to exceed 12 inches in height. If not taken care of, the HOA will have it mowed and billed to owner of the lot.

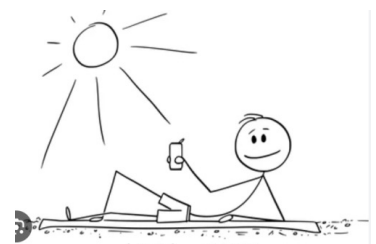
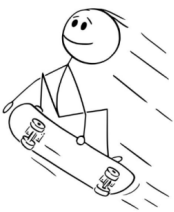
❖ **Recreational Vehicles:** RV campers, trailers, boats etc.. Should not be parked in the neighborhood for over 48 hours. The timeframe is intended to allow owners of RV's, campers, and boats to load and unload. No overnight vehicle parking on any street within the subdivision.

❖ Homeowners: please be mindful and courteous to your neighbors and pick up your pet's waste, wherever they may leave a deposit. We don't want to spread diseases to other dogs and not picking up after them is both unsanitary and unsightly!

❖ **Architectural Review Committee (ARC):** Please remember that all new detached buildings, exterior home improvements (example: adding a deck, repainting etc..Reference HOA guidelines) or landscape plans need prior approval by Architectural Review Committee (ARC). You can find the submission form on Flagstaff Management's web site. (see below)

All HOA Governing documents, Design Review form and Guidelines can be found on the HOA website: [HTTP://flagstaffmanagement.com/paradise-valley](http://flagstaffmanagement.com/paradise-valley)

**Communications via Emails:** To receive emailed updates/notifications from Flagstaff Management, you will be required to subscribe on Flagstaff Management's updated website; [www.flagstaffmanagement.com](http://www.flagstaffmanagement.com) and choose Paradise Valley. From there you can subscribe to Community Updates to receive future emails. You must subscribe to receive these updates. All future updates/notifications (Newsletters, Owner Polls, Social event reminders, etc.) will be sent via email to those owners that have subscribed, so please subscribe today. Thank you, Flagstaff Management, Inc.



*Spring Time is Here!*